



MILPITAS PLANNING COMMISSION STAFF REPORT

July 12, 2017

APPLICATION: **NEW SINGLE-FAMILY RESIDENCE – Site Development Permit No. SD17-0002** – A request for a Site Development Permit to allow for the demolition of an existing single-story residence and the construction of a new 2,326 square foot one-story residence on a 0.136 gross acre lot at 360 Carnegie Drive.

RECOMMENDATION: **Staff recommends that the Planning Commission adopt Resolution No. 17-016, approving Site Development Permit SD17-0002, subject to the attached Conditions of Approval.**

LOCATION:

Address/APN:

360 Carnegie Drive (APN 088-08-065)

Area of City:

Eastside of Carnegie Drive and north of Edsel Drive on the Valley Floor

PEOPLE:

Project Applicant:

San San Myint & Tony Aik Too Ngo

Property Owner:

San San Myint & Tony Aik Too Ngo

Project Planner:

Lillian Hua, Junior Planner

LAND USE:

General Plan Designation:

Single Family Low Density (SFL)

Zoning District:

Single Family Residential (R1-6)

Site Area:

0.136 acres

ENVIRONMENTAL:

Categorically exempt from further environmental review pursuant to Section 15303(a) of the California Environmental Quality Act (CEQA) for New Construction or Conversion of Small Structures including one single-family residence, or a second dwelling unit in a residential zone.

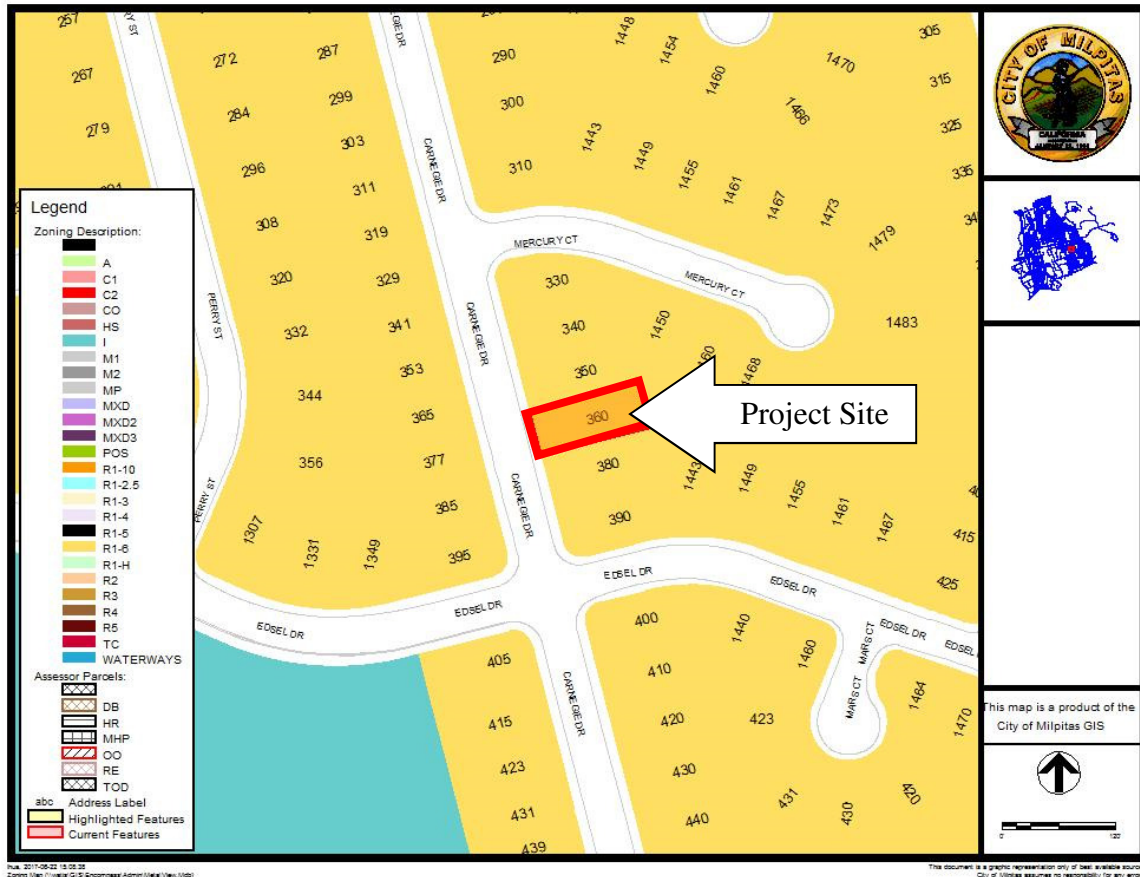
EXECUTIVE SUMMARY

The applicant is requesting a Site Development Permit to demolish an existing single-story residence to construct a 2,326 square foot one-story single-family residence on a 0.136 gross acre lot.

Map 1
Project Location



Map 2 Zoning Map



BACKGROUND

History

The existing 995 square foot single-story residence was constructed in 1955 on a 0.136 gross acre lot. Since its construction, building permits have been issued for electrical work and a kitchen remodel.

The Application

The following is a summary of the applicant's request:

- *Site Development Permit:* To allow for the demolition of an existing single-story residence and the construction of a new 2,326 square foot one-story residence on 0.136 gross acre lot.

PROJECT DESCRIPTION

Overview

The project site is 0.136 gross acre (5,924 square foot) parcel located along Carnegie Drive. The property and its neighboring properties are zoned Single Family Residential. A vicinity map of the subject site location is included on the previous page.

The applicant is requesting a Site Development Permit to construct a new 2,326 square foot one-story residence with four bedrooms, three full bathrooms, one half baths, and a 2-car attached garage on a parcel on the valley floor.

Location and Context

The project site is located in the eastern portion of the City of Milpitas on the valley floor. The following table provides a summary of the Zoning and Land Uses surrounding the site:

Table 1:
Surrounding Zoning and Land Uses

	General Plan	Zoning	Existing Use
Subject Site	Single Family Low Density (SFL)	Single-Family Residential (R1-6)	Single-family home
North	Single Family Low Density (SFL)	Single-Family Residential (R1-6)	Single-family home
South	Single Family Low Density (SFL)	Single-Family Residential (R1-6)	Single-family home
East	Single Family Low Density (SFL)	Single-Family Residential (R1-6)	Single-family home
West	Single Family Low Density (SFL)	Single-Family Residential (R1-6)	Single-family home

PROJECT ANALYSIS

General Plan and Zoning Conformance

The General Plan designation for the project site is Single Family Low Density (SFL). The General Plan details the goals, objectives and policies for the City's Valley Floor and Residential densities. All housing units are to be individually owned, either on separate lots or as part of a clustered Planned Unit Development. Single-unit detached residences will be the typical housing type in this category. The Single Family Low Density designation allows a maximum of three (3) to five (5) housing units per gross acre. The project is in conformance with the policies and standards in the City's General Plan policies, as outlined in the following table:

Table 2: General Plan Consistency

Policy	Conformance
<i>2.a-G-3 Provide for a variety of housing types and densities that meet the needs of</i>	Consistent. The proposed project will continue the City's guiding principle in

<i>individuals and families.</i>	providing a variety of housing types for individual and families.
<i>Housing Element Goal B</i> <i>Facilitate new housing production. Promote new housing development and remove public infrastructure constraints to new housing development.</i>	Consistent. The proposed project will continue the City's Housing Element's goal of facilitating new housing, as well promoting new housing developments.

The site is zoned Single Family Residential (R1-6). The purpose and intent of this zone is to stabilize and protect the residential characteristics of the District and to promote and encourage a suitable environment for family life. The R1 District is intended for the suburban family home and services appurtenant thereto. The proposed project meets the minimum setback requirements for the R1-6 zoning district.

Development Standards

Table 3 demonstrates the project's consistency with the applicable development standards of the R1-6 zone.

Table 3:
Summary of Development Standards

Standards	R1-6 Requirements	Proposed	Complies
Front Setback	20 ft.	20 ft.	Yes
Side Yard Setback	Adj. to garage 6, total 13 ft.	Adj. to garage 6, total 13 ft.	Yes
Rear	25 ft.	25 ft.	Yes
Building Height (Maximum)	Principal building: 30 ft.	1 story / 15 feet 9 inches	Yes
Parking	3 spaces required for a 4 bedroom house	4 spaces. 2 parking spaces in garage and 2 on the driveway	Yes

Site & Architectural Design

The project is designed in a traditional California Ranch style, which adds to the diversity of the neighborhood. The exterior materials are composed of beige and cream colored finished stucco, LedgeTone cultured stone veneer, and a classic "S" style cement tile roof. All exterior materials and finishes work together as a palette of earth tone colors creating a harmony with the surroundings. The colors used and materials are complementary to the neighboring residences and within an earth tone range.

FINDINGS FOR APPROVAL (OR DENIAL)

A finding is a statement of fact relating to the information that the Planning Commission has considered in making a decision. Findings shall identify the rationale behind the decision to take a certain action. Staff has found that the proposed project is consistent with the General Plan, Zoning Ordinance, and all required Findings.

Site Development Permit Findings (Section XI-10-57-03-1(F))

- 1. The layout of the site and design of the proposed buildings, structures and landscaping are compatible and aesthetically harmonious with adjacent and surrounding development.*

As described within the staff report, the architectural design and site planning of the proposed home is aesthetically compatible with the neighboring homes. The proposed layout of the site continues to maintain a 20 foot setback from the front property line. Additionally, the front door of the proposed new residence is oriented to the street. All exterior materials and finishes work together as a palette of earth tone colors, creating harmony with the surroundings. The colors used and materials are complementary to the neighboring residences.

- 2. The project is consistent with the Milpitas Zoning Ordinance in that:*

As described within the staff report and in Table 3, the proposed home meets the development standards in the Single Family Zoning district for setbacks, height requirements, and parking.

- 3. The project is consistent with the Milpitas General Plan in that:*

The project is consistent with the Milpitas General Plan and Housing Element, particularly with Policy No. 2.a-G-3 and Housing Element Goal B, which looks to provide for a variety of housing types and densities that meet the needs of individuals and families and to facilitate new housing development, respectively. The project meets these findings, as the project site has an existing home on the lot and the proposed larger home will continue to provide housing that will meet the needs of individuals and families, while also continuing to facilitate new housing development in the City of Milpitas.

ENVIRONMENTAL REVIEW

A categorical exemption pursuant to Section 15303(a) of the CEQA Guidelines – New Construction or Conversion of Small Structures, has been applied to this project. Section 15303(a) includes, but limited to, one single-family residence, or a second dwelling unit in a residential zone. The project’s proposed new construction of a single-family residence within a residentially zoned area on a legal parcel.

PUBLIC COMMENT/OUTREACH

Staff provided public notice for the application in accordance with City and State public noticing requirements. At the time of writing this report, there have been no inquiries from the public. A notice was published in the Milpitas Post on June 30, 2017. In addition, 120 notices were sent to

owners and occupants within 300 feet of the project site. A public notice was also provided on the project site, on the City's Website, www.ci.milpitas.ca.gov, and posted at City Hall.

RECOMMENDATION

STAFF RECOMMENDS THAT the Planning Commission:

1. Open the Public Hearing to receive comments;
2. Close the Public Hearing; and
3. Adopt Resolution 17-016, approving the Site Development Permit No. SD17-0002, to allow the construction of a new single-family residence on the valley floor, subject to the findings and attached Conditions of Approval.

ATTACHMENTS

A: Resolution 17-016

B: Project Plans

RESOLUTION NO. 17-016

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF MILPITAS APPROVING SITE DEVELOPMENT PERMIT NO. SD17-0002 TO CONSTRUCT A NEW SINGLE-FAMILY RESIDENCE LOCATED ON A 0.136 GROSS ACRE SITE AT 360 CARNEGIE DRIVE, MILPITAS, CA 95035

WHEREAS, on January 19, 2017, an application was submitted by San San Myint and Tony Aik Too Ngo, (“Applicant”), for a development proposal to demolish an existing single-story residence to construct a new 2,326 square foot single-story residence (“Project”) on a 0.136 acre site at 360 Carnegie Drive (APN: 088-08-065). The Project site is zoned Single Family Residential; and

WHEREAS, the Planning Division completed an environmental assessment for the project in accordance with the California Environmental Quality Act (CEQA), which assessment determined that the proposed project is exempt from CEQA review pursuant to Section 15303 (New Construction and Conversion of Small Structures) of the CEQA Guidelines; and

WHEREAS, on July 12, 2017, the Planning Commission held a duly noticed public hearing on the subject application, at which all those in attendance were given the opportunity to speak on Project; and

WHEREAS, the Planning Commission has considered all of the written and oral testimony presented at the public hearing in making its decision; and

NOW THEREFORE, the Planning Commission of the City of Milpitas hereby finds, determines and resolves as follows:

SECTION 1: Recitals.

The Planning Commission has considered the full record before it, which may include, but is not limited to such things as the staff report, testimony by staff and the public, and other materials and evidence submitted or provided to it. Furthermore, the recitals set forth above are found to be true and correct and incorporated herein by reference.

SECTION 2: CEQA Finding

The project is exempt from further environmental review under the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) for “New Construction or Conversion of Small Structures including one single-family residence, or a second dwelling unit in a residential zone,” because it can be seen with certainty that there is no possibility that these actions may have a significant effect on the environment. The Project proposes the new construction of a single-family residence within a residentially zoned area on a legal parcel.

SECTION 3: Site Development Permit (Section XI-10-57.03(F)(1)) - *The Planning Commission makes the following findings based on the evidence in the public record in approving Site Development Permit No. SD17-0002:*

- 1. The layout of the site and design of the proposed buildings, structures and landscaping are compatible and aesthetically harmonious with adjacent and surrounding development.*

The architectural design and site planning of the proposed home are aesthetically compatible with the neighboring homes. The proposed layout of the site continues to maintain a 20 foot setback from the front property line. Additionally, the front door of the proposed new residence is oriented to the street. All exterior materials and finishes work together as a palette of earth tone colors, creating harmony with the surroundings. The colors used and materials are complementary to the neighboring residences.

- 2. The project is consistent with the Milpitas Zoning Ordinance.*

As demonstrated in the table below, the proposed home meets the development standards of the Single Family Zoning District for setbacks, height requirements, and parking.

Table 1
Summary of Development Standards

Standards	R1-6 Requirements	Proposed	Complies
Front Setback	20 ft.	20 ft.	Yes
Side Yard Setback	Adj. to garage 6, total 13 ft.	Adj. to garage 6, total 13 ft.	Yes
Rear	25 ft.	25 ft.	Yes
Building Height (Maximum)	Principal building: 30 ft	1 story / 15 feet 9 inches	Yes
Parking	3 spaces required for a 4 bedroom house	4 spaces. 2 parking spaces in garage and 2 on the driveway	Yes

Site & Architectural Design

The project is designed in a traditional California Ranch style, which adds to the diversity of the neighborhood. The exterior materials are composed of beige and cream colored finished stucco, Ledgetone cultured stone veneer, and a classic “S” style cement tile roof. All exterior materials and finishes work together as a palette of earth tone colors creating a harmony with the surroundings. The colors used and materials are complementary to the neighboring residences and within an earth tone range.

3. *The project is consistent with the Milpitas General Plan.*

The project is consistent with the Milpitas General Plan and Housing Element, particularly with Policy No. 2.a-G-3 and Housing Element Goal B, which looks to provide for a variety of housing types and densities that meet the needs of individuals and families and to facilitate new housing development, respectively. The project meets these findings, as the project site has an existing home on the lot and the proposed larger home will continue to provide housing that will meet the needs of individuals and families, while also continuing to facilitate new housing development in the City of Milpitas.

SECTION 5: The Planning Commission of the City of Milpitas hereby approves Site Development Permit No. SD17-0002 and adopt Resolution No. 17-016 to allow the construction of a new single-family residence on the valley floor, based on the above findings and subject to the Conditions of Approval attached hereto as Exhibit 1 incorporated herein.

PASSED AND ADOPTED at a regular meeting of the Planning Commission of the City of Milpitas on July 12, 2017

Chair

TO WIT:

I HEREBY CERTIFY that the following resolution was duly adopted at a regular meeting of the Planning Commission of the City of Milpitas on July 12, 2017, and carried by the following roll call vote:

COMMISSIONER	AYES	NOES	ABSENT	ABSTAIN
Lawrence Ciardella				
Ray Maglalang				
Rajeev Madnawat				
Sudhir Mandal				
Demetress Morris				
Gurdev Sandhu				
Zeya Mohsin				
Evelyn Chua (Alternate)				

EXHIBIT 1

**CONDITIONS OF APPROVAL
360 CARNEGIE DRIVE
Site Development Permit No. SD17-0002**

General Conditions

1. General Compliance. The applicant and owner, including all successors in interest (collectively “Permittee”) shall comply with each and every condition set forth in this Permit. Site Development Permit No. SD17-0002 (“Permit”) shall have no force or effect and no building permit shall be issued unless and until all things required by the below-enumerated precedent conditions have been performed or caused to be performed.
2. Modifications to project. Any deviation from the approved site plan, floor plans, or other approved submittal shall require that, prior to the issuance of building permits, the Permittee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, the Permittee shall be required to apply for review and obtain approval of the Planning Commission, in accordance with the Zoning Ordinance. **(P)**
3. Effective Date. Unless there is a timely appeal filed in accordance with the Milpitas Zoning Code, the date of approval of this Permit is the date on which the decision-making body approved this Permit.
4. Acceptance of Permit. Should Permittee fail to file a timely appeal within twelve (12) calendar days of the date of approval of this Permit, inaction by Permittee shall be deemed to constitute each of the following:
 - a. Acceptance of this Permit by Permittee; and
 - b. Agreement by the Permittee to be bound by, comply with, and to do all things required of or by Permittee pursuant to all of the terms, obligations, and conditions of this Permit.
5. Permit Expiration. Pursuant to Section XI-10-64.06 of the Milpitas Zoning Code, this Permit shall become null and void if the activity permitted by this Permit is not commenced within two (2) years from the date of approval, or for a project submitted with a tentative map, within the time limits of the approved tentative map. Pursuant to Section XI-10-64.06(B) of the Milpitas Zoning Code, an activity permitted by this Permit shall be deemed to have commenced when the project:
 - a. Completes a foundation associated with the project; or
 - b. Dedicates any land or easement as required from the zoning action; or
 - c. Complies with all legal requirements necessary to commence the use, or obtains an occupancy permit, whichever is sooner.
6. Time Extension. Pursuant to Section XI-10-64.07 of the Milpitas Zoning Code, unless otherwise provided by State law, Permittee shall have the right to request a one-time extension of the Permit if the request is made in writing to the Planning Division prior to the expiration date of the approval. **(P)**

7. Project Job Account. If Permittee's project job account is at any time delinquent or below the required deposit amount, City will not continue to review or process the application until Permittee's private job account is paid in full and the required deposit has been made. Additionally, prior to the issuance of any building permit or occupancy permit, as applicable, Permittee shall pay in full the project account balance and establish a remaining balance of at least twenty-five percent (25%) of the required initial deposit.
8. Notice. Pursuant to California Government Code Section 66020, any protest filed in court relating to the imposition of fees, dedication, reservations, or other exactions to be imposed on the development project shall be filed within ninety (90) days after the date of the adoption of this Resolution. This provision serves as notice from the local agency to the Permittee that the ninety (90) day period in which the applicant may file a protest has begun under California Government Code Section 66020(d)(1).
9. Cost and Approval. Permittee shall fully complete and satisfy each and every condition set forth in this Resolution and any other condition applicable to the project to the sole satisfaction of the City. Additionally, Permittee shall be solely responsible and liable for the cost to satisfy each and every condition. Permittee shall pay all required fees and charges to City at the rate in effect at time of building permit issuance, or, the rate in effect when the fees and charges are due and paid in full to City. There is no vesting of any fees or charges with the adoption of this Resolution.
10. Conditions. Each and every condition set forth in this Exhibit shall apply to the project and continue to apply to the project so long as the Permittee is operating the project under the permits and approvals in this Resolution.
11. Compliance with Laws. The construction, use, and all related activity authorized under this Permit shall comply with all applicable local, state, and federal laws, rules, regulations, guidelines, requirements, and policies. **(CA/P)**
12. Previous Approvals. Permittee shall abide and continue to comply with all previous City approvals, permits, or requirements relating to the subject property, unless explicitly superseded or revised by this Permit.
13. Indemnification. To the fullest extent permitted by law, Permittee shall indemnify, defend with counsel of the City's choosing, and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to (i) City's approval of the project, including but not limited to, the approval of the discretionary permits, maps under the Subdivision Map Act, and/or the City's related determinations or actions under the California Environmental Quality Act, and (ii) Permittee's construction, operation, use, or related activity under this Permit. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. Permittee shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. Permittee shall pay to the City upon

demand or, as applicable, to counsel of City's choosing, any amount owed pursuant to the indemnification requirements prescribed in this condition.

14. Revocation, Suspension, Modification. This Permit may be suspended, revoked, or modified in accordance with Section XI-10-63.06 of the Milpitas Zoning Code.
15. Severability. If any term, provision, or condition of this Permit is held to be illegal or unenforceable by the Court, such term, provision, or condition shall be severed and shall be inoperative, and the remainder of this Permit shall remain operative, binding, and fully enforceable.
16. Permittee shall develop the approved project in conformance with the approved plans approved by the Planning Commission on July 12, 2017, in accordance with these Conditions of Approval.

Any deviation from the approved site plan, elevations, materials, colors, landscape plan, or other approved submittal shall require that, prior to the issuance of building permits, the Permittee shall submit modified plans and any other applicable materials as required by the City for review and obtain the approval of the Planning Director or Designee. If the Planning Director or designee determines that the deviation is significant, Permittee shall be required to apply for review and obtain approval of the Planning Commission or City Council, as applicable, in accordance with the Milpitas Zoning Code. **(P)**
17. Response to Conditions of Approval. Permittee shall provide a written response to comments upon submittal for building permit application. The responses should clearly indicate how each condition of approval has been addressed in the plans and shall note the appropriate plan sheet. **(P)**
18. Prior to the issuance of a building permit, the owner or designee shall include within the four first pages of the working drawings for a plan check a list of all conditions of approval imposed by the final approval of the project. **(P)**

(P) = Planning

(CA) = City Attorney

GENERAL NOTES :

APPLICABLE CODES AND REGULATIONS:

CALIFORNIA FIRE CODE	2016 EDITION
CALIFORNIA BUILDING CODE	2016 EDITION
CALIFORNIA RESIDENTIAL CODE	2016 EDITION
CALIFORNIA MECHANICAL CODE	2016 EDITION
CALIFORNIA PLUMBING CODE	2016 EDITION
CALIFORNIA ELECTRIC CODE	2016 EDITION
CALIFORNIA ENERGY CODE	2016 TITLE 24
CALIFORNIA GREEN BUILDING STANDARDS CODE	2016 EDITION
CITY OF MILPITAS MUNICIPAL CODE	2017 EDITION

BUILDING DATA:

A.P.N. : 88-08-065
ZONING : RI-6
TYPE OF CONSTRUCTION : V-B
OCCUPANCY GROUP : R3 & U
NUMBER OF STORY : ONE
FIRE SPRINKLER : YES
NEW SINGLE FAMILY DWELLING:
NEW FLOOR AREA = 2,326 SF
NEW GARAGE FLOOR AREA = 435 SF
(E) FLOOR (LIVING AREA) = 995 SF
(E) GARAGE FLOOR AREA = 281 SF
LOT SIZE = 6,000 SF

LOT COVERAGE :

(N) FLOOR = 2,326 SF
GARAGE = 435 SF
TOTAL = 2,761 SF / 6,000 SF (LOT AREA)
= 46% < 50% (OK)

SCOPE OF WORK:

- NEW 2,326 SQ. FT ONE STORY SINGLE FAMILY HOME CONSTRUCTION.

LIST OF DRAWINGS :

- A-1 : SITE PLAN & GENERAL NOTES
A-2: EXISTING FLOOR PLAN & DEMO PLAN
A-3: PROPOSED FLOOR PLAN
A-4: PROPOSED ROOF PLAN
A-5: EXISTING ELEVATIONS & SECTIONS
A-6: EXISTING ELEVATIONS & SECTIONS
LS-1: TOPOGRAPHIC SURVEY PLAN

GENERAL NOTES:

- FIRE PROTECTION WATER SUPPLY, HYDRANTS, HYDRANTS BE PROVIDED TO THE MINIMUM REQUIREMENTS PER THE CITY OF MILPITAS LAND DEVELOPMENT GUIDELINES AND PER THE CALIFORNIA FIRE CODE SECTION 507..
- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS AND SHALL BE CONSISTENT WITH MILPITAS STANDARDIZED ADDRESSING GUIDELINES. ADDRESS NUMBERS SHALL BE ILLUMINATED. CFC SECTION 505.
- AUTOMATIC FIRESPRINKLER FOR BUILDINGS.
 - AN AUTOMATIC FIRESPRINKLER SYSTEM SHALL BE INSTALLED IN THE NEW HOME (INCLUSIVE OF GARAGE). CA FIRE CODE SECTION 903.2.8
 - WATER SUPPLY FOR THE AUTOMATIC FIRE SPRINKLER SYSTEM SHALL CONFORM TO THE MILPITAS CITY STANDARD DRAWING NUMBERS 723, 724 OR 726, AS NEED FOR SYSTEM DESIGN.
 - ONE EXTERIOR APPROVED AUDIBLE DEVICE SHALL BE CONNECTED TO EVERY AUTOMATIC FIRE SPRINKLER SYSTEM IN AN APPROVED LOCATION. CFC SECTION 903.4.2
- FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION SHALL BE IN CONFORMANCE WITH CHAPTER 33 OF THE CA FIRE CODE.
- FIRE PROTECTION SYSTEMS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT FOR REVIEW AND APPROVAL. CA FIRE CODE SECTION 901.2.
- INSTALL A NEW SS CLEAN OUT BEHIND THE STREET RIGHT-OF-WAY LINE PER DETAIL NO. 620, IF THERE IS NO EXISTING CLEAN OUT.
- THE EXISTING WATER METER MAY NEED TO BE UPGRADED 1" WATER METER AS NEEDED AND AS REQUIRED BY THE FIRE PROTECTION ENGINEER FOR THE NEW BUILDING.
- PAVING SHALL COMPLY WITH MMC SECTION 11-13-18. PERVIOUS PAVING AND TURF BLOCKS SHALL MEET MINIMUM TI REQUIREMENT OF 3.5.
- ALLNON-STRUCTURAL FLAT CONCRETE WORK SHALL BE AS PER MILPITAS MUNICIPAL CODE SECTIONS 11-13- 17.05.
- GRADING AND EROSION CONTROL PLAN SHALL BE SUBMITTED WHEN APPLYING FOR GRADING PERMIT AS PER MMC SEC.11-13-10 AND SHALL BE PREPARED BY A LICENSED CIVIL ENGINEER.

LANDSCAPE CERTIFICATE OF COMPLETION:

SUBMIT A CERTIFICATE OF SUBSTANTIAL COMPLETION THAT COMPLIES WITH THE MILPITAS MUNICIPAL CODE WATER EFFICIENT LANDSCAPES ORDINANCE.

ENCROACHMENT PERMIT:

PRIOR TO ANY WORK IN THE PUBLIC RIGHT-OF-WAY AND/OR PUBLIC EASEMENT, OBTAIN AN ENCROACHMENT PERMIT WITH INSURANCE REQUIREMENTS FOR ALL PUBLIC IMPROVEMENTS INCLUDING A TRAFFIC CONTROL PLAN PER THE LATEST CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES(MUTCD) STANDARDS TO BE REVIEWED AND APPROVED BY THE ENGINEERING DEPARTMENT.

SPECIAL INSPECTION :

SPECIAL INSPECTIONS ON ALL ITEMS AS REQUIRED BY CBC OR LOCAL STATE AUTHORITIES SHALL BE PROVIDED.

DEFERRAL SUBMITTAL :

- ROOF TRUSS LAYOUT, SHOP DRAWINGS AND TRUSS CALCULATIONS.

CONSTRUCTION / DEMOLITION NOTES:

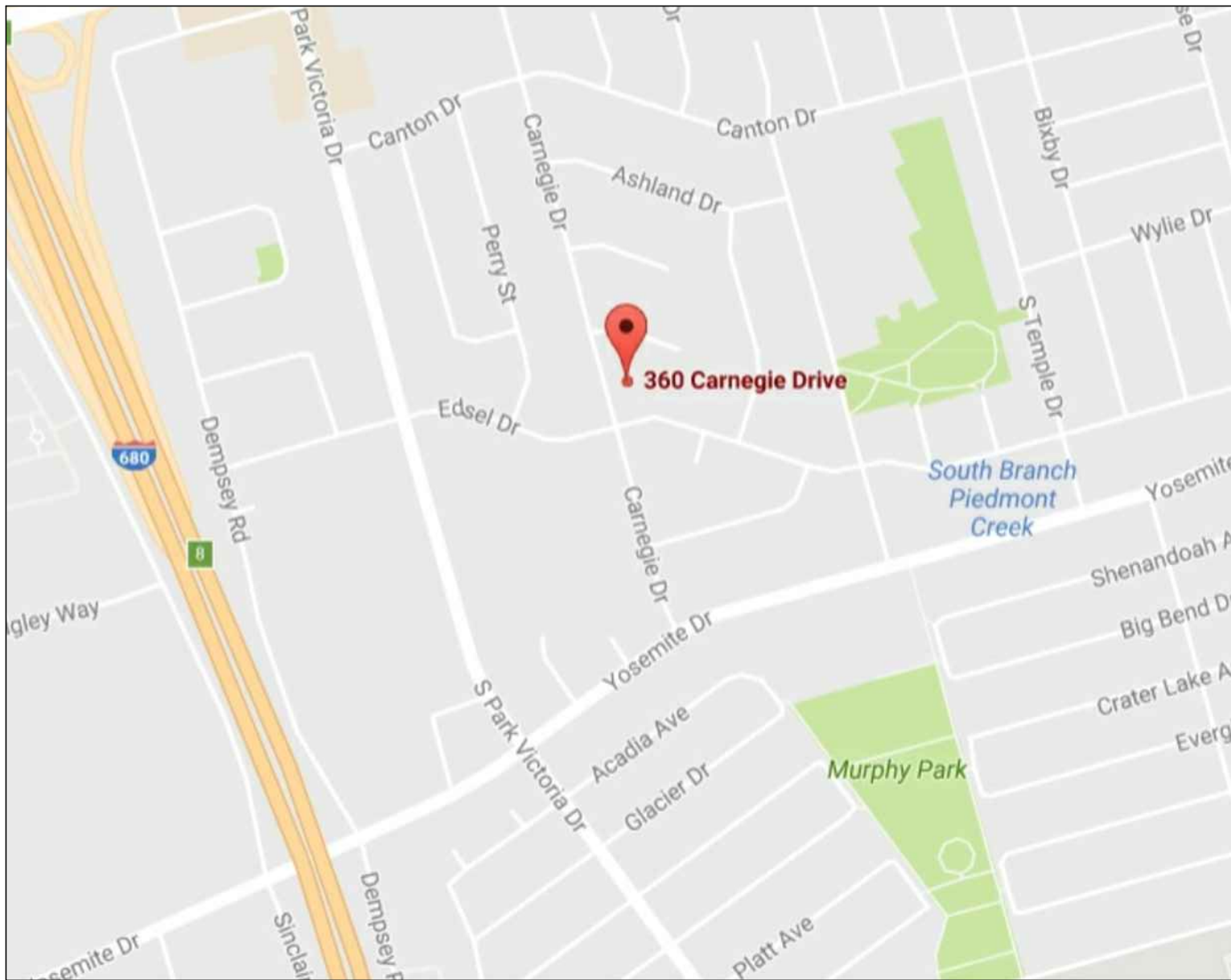
- DURING CONSTRUCTION AND DEMOLITION, ALL DEBRIS MUST BE REMOVED FROM THE SITE BY THE CITY'S ONLY APPROVED HAULER, REPUBLIC SERVICES, USING THEIR DEBRIS BOX SERVICE. NO OTHER ENTITY IS AUTHORIZED TO COLLECT OR TRANSPORT MATERIAL THAT HAS BEEN GENERATED OR ACCUMULATED WITHIN MILPITAS. THERE IS AN EXCEPTION FOR DEBRIS BOXES CONTAINING ONLY SEPARATED SOIL, CONCRETE OR ASPHALT. CONTACT REPUBLIC SERVICES AT 510-657-3500.
- ALTERNATELY, THE CONSTRUCTION OR DEMOLITION CONTRACTOR MAY REMOVE MATERIALS FROM THE PREMISES, USING THEIR OWN EQUIPMENT, VEHICLES AND EMPLOYEES, AS AN INCIDENTAL PART OF A TOTAL CONSTRUCTION SERVICE OFFERED BY THAT CONTRACTOR. CONTRACTORS WHO SELF-HAUL DEBRIS IN THEIR OWN VEHICLES MUST DELIVER THE MATERIAL TO AN APPROVED FACILITY AND SUBMIT THE RECEIPTS TO THE CITY ON A MONTHLY BASIS.
- IF A COMPANY OTHER THAN REPUBLIC SERVICES PROVIDES DEBRIS BOX SERVICE FOR HAULING CERTAIN SEPARATED RECYCLABLE MATERIALS (ONLY SOIL, ASPHALT OR CONCRETE), EACH LOAD MUST NOT CONTAIN MORE THAN 10% GARBAGE OR OTHER NON-RECYCLABLE MATERIAL BY WEIGHT OR VOLUME.
- PLANT AND TREE DEBRIS MUST BE SEPARATED FROM OTHER WASTE. ALAMEDA COUNTY LAW REQUIRES THAT ALL PLANT DEBRIS BE SEPARATED AND RECYCLED.
- DURING CONSTRUCTION, 100% OF THE ASPHALT AND CONCRETE MUST BE REUSED OR RECYCLED, AND AT LEAST 65% OF THE REMAINING DEBRIS GENERATED FROM THE PROJECT MUST BE REUSED OR RECYCLED. IN ORDER TO RECEIVE FINAL PERMIT APPROVAL, APPLICANT MUST SAVE ALL RECEIPTS FROM DISPOSAL AND RECYCLING TO TURN IN AT THE COMPLETION OF THE PROJECT.
- APPLICANT MUST SUBMIT A SIGNED CONSTRUCTION DEBRIS HAULER ACKNOWLEDGEMENT FORM TO ENSURE ONLY AUTHORIZED HAULERS ARE USED TO REMOVE CONSTRUCTION DEBRIS FROM THE JOBSITE. THE FORM MAY BE FOUND AT: WWW.MILPITAS.GOV/CONSTRUCTION.
- THE APPLICANT MUST SUBMIT A MILPITAS WASTE HANDLING PLAN PRIOR TO BEGINNING ANY CONSTRUCTION. THE WASTE HANDLING PLAN MUST:
 - PROVIDE AN ESTIMATE OF TYPE OF DEBRIS GENERATED
 - LIST THE NAMES OF THE APPROVED RECYCLING FACILITIES THAT WILL BE USED
 - INDICATE THAT 50% OF THE MATERIAL WILL BE RECYCLED
 - BE DISTRIBUTED TO ALL SUBCONTRACTORS ON THE JOB
- WITHIN THIRTY DAYS OF COMPLETION OF THE WORK, AND PRIOR TO THE FINAL INSPECTION, THE APPLICANT MUST FILE A DEBRIS DISPOSAL & DIVERSION REPORT DOCUMENTING ACTUAL TONS OF DEBRIS RECYCLED, ALONG WITH ALL DISPOSAL RECEIPTS OR WEIGHT TAGS FROM THE PROJECT.
- ALL DISPOSAL AND RECYCLING RECEIPTS MUST OFFICIALLY LIST MILPITAS AS THE CITY OF ORIGIN TO BE COUNTED TOWARD THE DIVERSION REQUIREMENT.
- FAILURE TO COMPLY WITH THE WASTE HANDLING PLAN OR PROVIDE ACCURATE, ACCEPTABLE DOCUMENTATION MAY RESULT IN A PENALTY OF \$1000 PER TON NOT RECYCLED.
- A CITY OF MILPITAS BUSINESS TAX (LICENSE) IS REQUIRED OF ALL HIRED PERSONS WORKING IN MILPITAS, INCLUDING ALL CONTRACTORS, SUBCONTRACTORS, AND VENDORS.

SOLID WASTE:

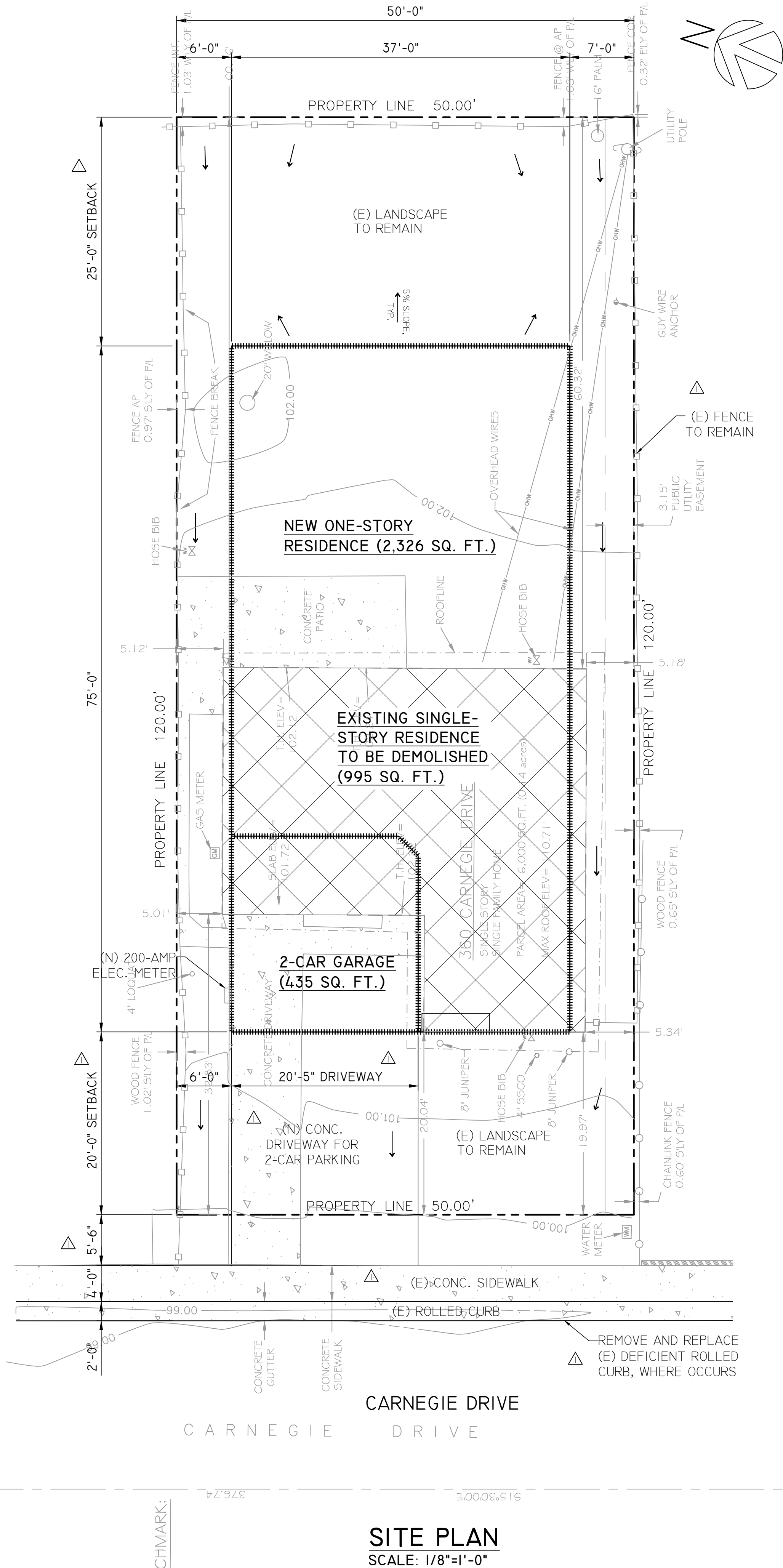
- INCLUDE THE CLEAN BAY BLUEPRINT IN THE PLAN SET.
- GARBAGE AND RECYCLING REQUIREMENTS ARE EXPLAINED IN THE MILPITAS WASTE HANDLING GUIDELINES. APPLICANT WILL BE RESPONSIBLE FOR FOLLOWING THESE GUIDELINES ON THE PROJECT.
- WEEKLY GARBAGE, RECYCLING AND ORGANICS COLLECTION SERVICES ARE REQUIRED FOR ALL RESIDENTIAL PROPERTIES, AND ARE PROVIDED EXCLUSIVELY BY REPUBLIC SERVICES.
- GARBAGE AND RECYCLING CARTS MUST ALWAYS BE HIDDEN FROM PUBLIC VIEW, EXCEPT ON COLLECTION DAYS. 27 SQUARE FEET OF STORAGE SPACE IS REQUIRED IN THE GARAGE FOR GARBAGE, RECYCLING AND ORGANICS CARTS. IF SUFFICIENT GARAGE SPACE IS NOT AVAILABLE, RESIDENTS MUST HAVE UNRESTRICTED ACCESS TO THE SAME AMOUNT OF EXTERIOR STORAGE IN THE SIDE OR BACK YARDS SO THAT THE CARTS REMAIN HIDDEN FROM PUBLIC VIEW. THE MINIMUM STORAGE AREA FOR GARBAGE AND RECYCLING CARTS IS IN ADDITION TO THE STORAGE AREA REQUIRED BY OTHER CITY DEPARTMENTS, REQUIRED PARKING OR OTHER DESIGNATED AREAS. A GRASS OR ALL-WEATHER SURFACE SHOULD BE PROVIDED TO SMOOTHLY ROLL THE CARTS BETWEEN THE CART STORAGE AREA AND SET OUT AREA ON THE STREET IN FRONT OF THE DWELLING UNIT.
- ALL RESIDENTIAL DWELLING UNITS SHOULD INCLUDE A MINIMUM OF SIX (6) CUBIC FEET FOR INDOOR TEMPORARY STORAGE OF GARBAGE AND RECYCLING (I.E., UNDER THE KITCHEN SINK OR IN A PANTRY, ETC.). AT LEAST THREE (3) CUBIC FEET SHOULD BE PROVIDED FOR STORAGE OF RECYCLING.

STORMWATER:

- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND RUNOFF DIRECTED TO A LANDSCAPED AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING. "THRU-CURB" DRAINS ARE NOT ALLOWED.



VICINITY MAP



GHY CONSULTING ENGINEERS, INC.

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NEW SINGLE FAMILY HOME
MYINT AND NGO'S FAMILY RESIDENCE
360 CARNEGIE DRIVE
MILPITAS, CA 95035

SITE PLAN & GENERAL NOTES

REVISION NOTES

0	01-18-17	PLAN REVIEW
1	04-26-17	SITE DEVELOPMENT COMMENTS
2	07-05-17	PLANNING PERMIT REVIEW

NO	DATE	REVISION
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SCALE: AS NOTED

DRAWN BY: GHY

DWG. NO.

A-1

LEGENDS:

- : INDICATES EXIST. WALL
- : INDICATES PARTIAL HEIGHT WALL
- : INDICATES NEW WALL
- : INDICATES (E) WALL TO BE REMOVED
- : INDICATES (E) WINDOW TO BE REMOVED
- 60x60

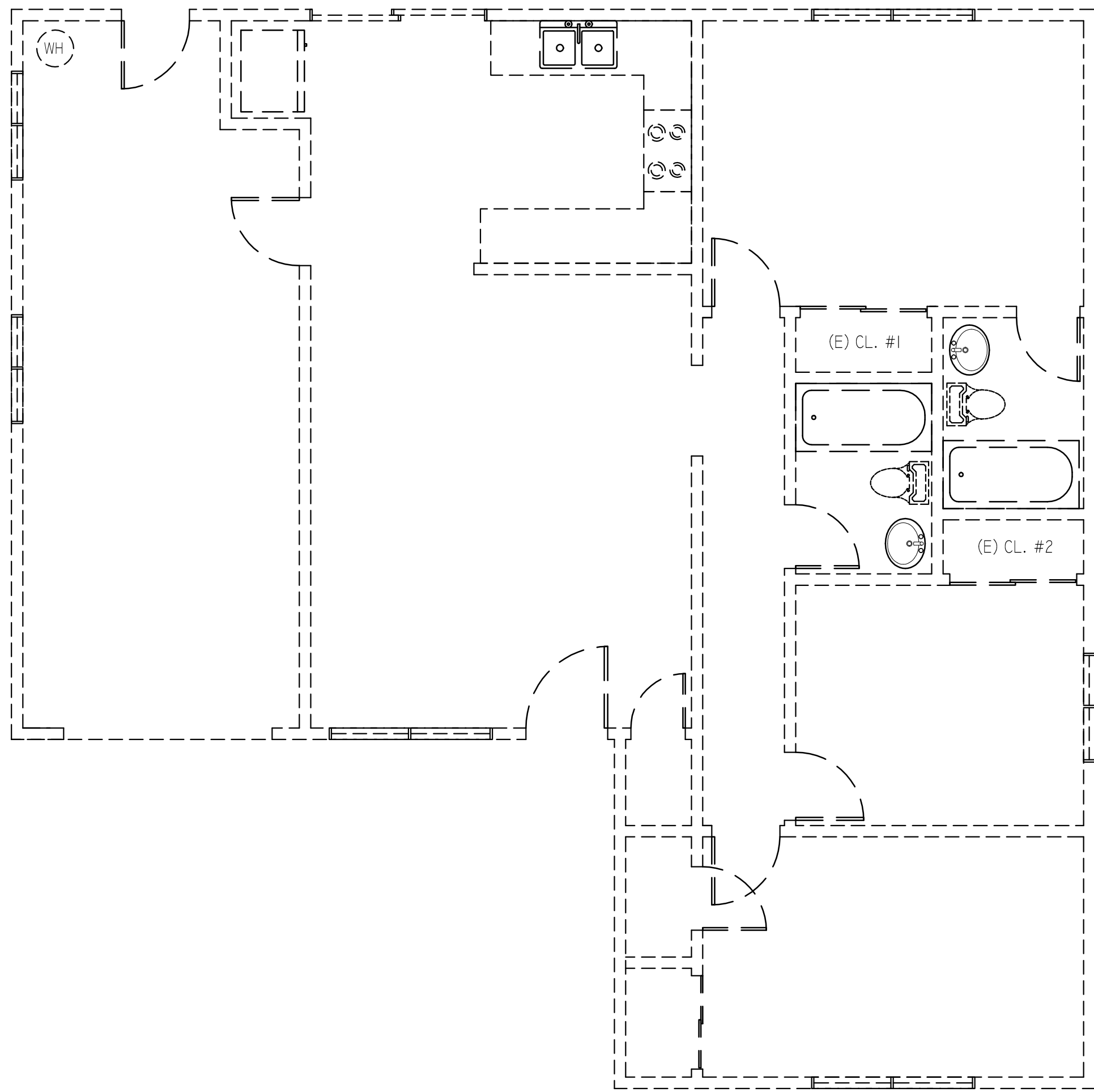
WINDOW W/SIZE INDICATION: 6'-0"W x 4'-6"H
- 24x08

DOOR W/SIZE INDICATION: 2'-4"W x 6'-8"H



EXISTING FLOOR PLAN

SCALE: 1/4"=1'-0"



DEMOLITION PLAN

SCALE: 1/4"=1'-0"

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EXISTING FLOOR PLAN & DEMO PLAN

REVISION NOTES

0	01-18-17	PLAN REVIEW
NO	DATE	REVISION

SCALE: AS NOTED

DRAWN BY: GHY

DWG. NO.

A-2

FLOOR PLAN GENERAL NOTE:

- ATTIC ACCESS PER CRC R807.1 22"x30" & PROVIDE MIN. 30" OF UNOBSTRUCTED HEADROOM;
- EXTERIOR LANDING SHALL NOT BE MORE THAN 7 ½' BELOW TOP OF DOOR THRESHOLD PER CRC R311.3;
- EXTERIOR STEPS RISE 7 ½" MAX. AND RUN 10" MIN. PER CRC R311.7.4;

FLOOR PLAN INSULATION NOTE:

- NEW FLOOR AREA - INSTALL R19 BATT. INSULATION;
- NEW EXTERIOR WALLS - INSTALL R13 BATT. INSULATION;
- NEW ATTIC - INSTALL R30 BATT. INSULATION;

FLOOR PLAN WINDOWS & DOOR SAFETY GLAZING NOTE:

- WINDOWS ADJACENT TO AND WITHIN 24" INCHES OF EITHER EDGE OF THE FRONT DOOR. PER CRC R308.4;
- I.E. SIDELIGHTS IN ADJACENT TO FRONT ENTRY DOOR.
- GLAZING IN DOORS PER CRC R308.4;
- WINDOWS GREATER THAN 9 SQUARE FEET AND CLOSER THAN 18 INCHES TO THE FLOOR. PER CRC R308.4;

PLUMBING PLAN NOTE:

- WATER CLOSETS SHALL HAVE AN AVERAGE WATER CONSUMPTION OF NOT MORE THAN 1.28 GALLONS PER FLUSH (CPC 402.2).
- SHOWER HEADS SHALL HAVE A WATER FLOW NOT TO EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI(CPC 402.1.1).
- LAVATORY FAUCET- MAXIMUM FLOW RATE NOT TO EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI,AND MINIMUM FLOW RATE NOT LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.
- FAUCETS IN KITCHENS, WET BARS, LAUNDRY SINKS,ETC SHALL HAVE A WATER FLOW NOT TO EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI(CPC 402.1.2).
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" (CRC R307.2).
- THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM THE BATHTUB, SHOWER AND WHIRLPOOL BATHTUB FILLER SHALL BE LIMITED TO 120 DEGREES FAHRENHEIT.THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A CONTROL FOR MEETING THIS PROVISION. (CPC 414.5 & 418.0).

CLOTHES DRYER VENTILATION

- CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. (CMC 504.3)
- EXHAUST DUCT IS LIMITED TO 14"WITH TWO ELBOWS. THIS SHALL BE REDUCED 2" FOR EVERY ELBOW IN EXCESS OF TWO. SHOW MINIMUM ¼" DIAMETER,SMOOTH, METAL DUCT, AND SHOW DUCT ROUTE ON PLAN.(CMC 504.3.1)
- PROVIDE MAKEUP AIR FOR THE CLOTHES DRYER. WHEN A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER,A MINIMUM OPENING OF 100 SQUARE INCHES SHALL BE PROVIDED IN THE DOOR. (CMC 504.3.1)

FLOOR PLAN ATTIC FURNACE NOTE:

- FIELD VERIFIED BY A CERTIFIED HERS RATER SEE TITLE-24 FOR DETAIL.
- FURNACES SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION AND OPERATING INSTRUCTIONS. ALL FURNACES SHALL BE LABELED. THEY SHALL BEAR A PERMANENT AND LEGIBLE FACTORY-APPLIED NAMEPLATE ON WHICH SHALL APPEAR: THE MANUFACTURER'S NAME, FUEL INPUT RATING IN BTU'S, MODEL AND SERIAL NUMBER,INSTRUCTIONS FOR LIGHTING,OPERATING AND SHUTDOWN, TYPE OF FUEL APPROVED FOR USE, SYMBOL OF APPROVED AGENCY, AND REQUIRED CLEARANCES. (CMC 504.1)
- SHALL BE INSTALLED ON NON-COMBUSTIBLE FLOORS.(CMC 904.3)
- WHERE REQUIRED BY MANUFACTURER DRIP LEG SHALL BE INSTALLED IN SUCH LOCATIONS SO THAT IT WILL BE READILY ACCESSIBLE TO PERMIT CLEANING OR EMPTYING.(CMC 1311.7.2)
- A GAS SHUT OFF VALVE SHALL BE ACCESSIBLE AND LOCATED WITHIN 6' OF FURNACE. IT SHOULD BE CONNECTED TO RIGID PIPING UPSTREAM FROM FLEXIBLE CONNECTION IN THE SAME ROOM AS THE FURNACE.UNION CONNECTION SHALL BE PROVIDED DOWNSTREAM FROM THE VALVE TO PERMIT REMOVAL CONTROLS.(CMC 1312.)

- FURNACES LOCATED IN ATTICS: TRUSS SYSTEM SHALL BE ENGINEERED FOR FURNACE LOCATION
- AN ATTIC OR FURRED SPACE IN WHICH A WARM-AIR FURNACE IS INSTALLED SHALL BE ACCESSIBLE BY AN OPENING AND PASSAGEWAY AS LARGE AS THE LARGEST COMPONENT OF THE APPLIANCE, AND NOT LESS THAN 22"x30" CONTINUOUS FROM THE OPENING TO THE FURNACE AND ITS CONTROLS.(CMC 904.10)
- WHERE THE HEIGHT OF THE PASSAGEWAY IS LESS THAN SIX FEET,THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE APPLIANCE SHALL NOT EXCEED TWENTY FEET MEASURED ALONG THE CENTER LINE OF THE PASSAGEWAY.(CMC 904.10.1)
- THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE OPENING TO THE FURNACE.(CMC904.10.2)
- A LEVEL WORKING PLATFORM OR GRADE SURFACE NOT LESS THAN 30"x30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE APPLIANCE.(CMC 904.10.3)
- ALL ELECTRICAL WIRING SHALL BE PROTECTED WITH IN 6" OF ATTIC SCUTTLE OPENING
- A PERMANENT ELECTRIC OUTLET AND A LIGHTING FIXTURE CONTROLLED BY A SWITCH LOCATED AT THE ATTIC ACCESS SHALL BE PROVIDED AT OR NEAR THE FURNACE.(CMC904.10.4)

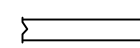

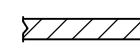
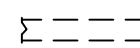
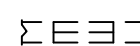
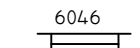
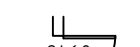
FLOOR PLAN KITCHEN CODE REQUIREMENTS NOTE:

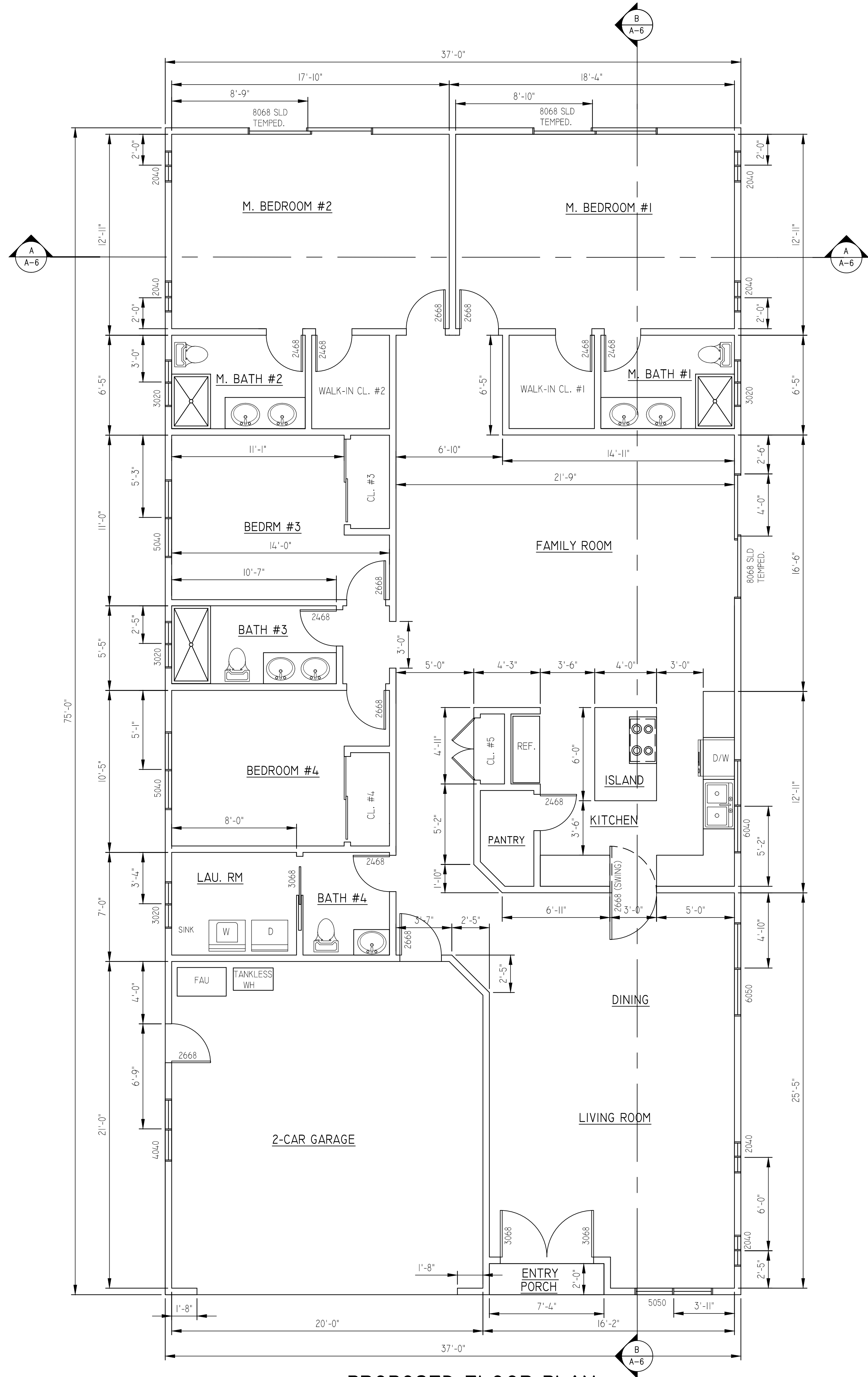
- CLEAR PASSAGEWAY MINIMUM 36" BETWEEN COUNTER FRONT AND APPLIANCES OR COUNTERS AND WALLS.
- KITCHEN RANGE CLEARANCES TO COMBUSTIBLES SHALL HAVE A VERTICAL CLEARANCE OF 30" UNLESS PROTECTED BY ½" INSULATING MILLBOARD OR METAL HOOD, THEN THE CLEARANCE MAY BE REDUCED TO 24" .GAS RANGE MUST HAVE APPROVED ANTI-TIP INSTALLED.
- CEILING HEIGHT SHALL BE A MINIMUM 7' IN THE KITCHEN.
- AN UPGRADE OF THE EXISTING ELECTRICAL SERVICE MAY BE REQUIRED BASED ON THE NUMBER AND AMPCITY OF THE NEW AND EXISTING CIRCUITS.
- ALL RECEPTACLES SERVING THE COUNTERTOP SHALL BE GFCI PROTECTED AND TAMPER RESISTANT.
- KITCHEN NEEDS 2(20)AMP SMALL APPLIANCE BRANCH CIRCUITS; ADDITIONAL CIRCUITS MAY BE NEEDED PER EQUIPMENT MANUFACTURER'S SPECIFICATIONS AND CEC 210.52(8).SMAI-L APPLIANCE CIRCUITS SHALL NOT SUPPLY DISPOSALS, DISHWASHERS AND OTHER APPLIANCES.CIRCUIT BREAKERS SHALL NOT EXCEED 80% OF THEIR RATINGS.
- NO LIGHTING SHALL BE ON THE REQUIRED 20AMP SMALL APPLIANCE BRANCH CIRCUITS.
- OUTLETS SHALL NOT BE INSTALLED ON THE FACE-UP POSITION ON COUNTERTOPS. JUNCTION BOXES SHALL BE ACCESSIBLE AND HAVE A WORKING CLEARANCE.
- RECEPTACLE OUTLET LOCATIONS IN KITCHENS ARE AS FOLLOWS: COUNTER TOPS 12" OR MORE IN WIDTH REQUIRE A RECEPTACLE OUTLET,COUNTER TOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS OR SINKS ARE CONSIDERED SEPARATE COUNTERTOPS SPACES AND WILL NEED A RECEPTACLE WITHIN 24" OF THEIR EDGE, SPACING BETWEEN RECEPTACLES SHALL NOT EXCEED 480 . RECEPTACLES SHAI-L BE MOUNTED NO MORE THAN 20" ABOVE THE COUNTER TOP NOR MORE THAN 120" BELOW IT,ISLANDS AND PENINSULAS SHALL BE PROVIDED WITH A MINIMUM OF I(ONE) RECEPTACLE.
- ALL KITCHEN LIGHTING SHALL BE HIGH EFFICACY (REGULATED BY AN ELECTRONIC BAL-LAST),UP TO 50% OF THE RE-LAMPING WATTAGE MAY BE NONE-HIGH EFFICACY LIGHTING. HIGH EFFICACY LIGHTING SHALL BE SWITCHED/CONTROLLED SEPARATELY.
- LIGHT CANS (RECESSED LIGHTING) SHALL BEAIR-TIGHT AT TOP FLOOR CEILING OR ATTIC SPACE, AND IC RATED IF RECESSED INTO INSULATED CEILINGS.
- GAS SHUTOFF VALVES SHAI-L BE ACCESSIBLE (WITHOUT THE NEED TO MOVE EQUIPMENT) AND WITH RIGID PIPING UPSTREAM FROM THE FLEXIBLE CONNECTOR WITHIN 6' OF THE GAS APPLIANCE.
- ALL WASTE VENTS SHALL TERMINATE A MINIMUM OF 6" OR MORE ABOVE THE ROOF SURFACE, 10' AWAY FROM OR 3' ABOVE ANY WINDOW, DOOR, OPEN ABLE SKYLIGHT, AIR INTAKE, OR VENT SHAFT AND 1' AWAY FROM ANY VERTICAL WALL SURFACE.

FLOOR PLAN BATH CODE REQUIREMENTS NOTE:

- EXHAUST FANS ARE REQUIRED IN ALL BATHROOMS, EVEN IF AN OPERABLE WINDOW IS INSTALLED.(CA ENERGY EFFICIENCY STANDARDS SECTION 150) EXHAUST FANS SHALL TERMINATE A MINIMUM OF 3' FROM PROPERTY LINE AND 3' FROM OPENINGS INTO A BUILDING. (CMC 504.3.1) EXHAUST FANS AT SHOWER SHALL BE LISTED FOR WET LOCATION AND SHALL BE GFCI PROTECTED.
- TAMPER RESISTANT RECEPTACLES IN DWELLING UNITS ARE REQUIRED IN ALL AREAS SPECIFIED IN CEC 210.52.
- MINIMUM (1) 20AMP CIRCUIT FOR BATHROOM RECEPTACLES (CEC 210.11(C)(X3)).GFCI PROTECTION SHALL BE PROVIDED FOR ALL OUTLETS IN BATHROOMS, WITH AT LEAST ONE OUTLET 36"OF THE OUTSIDE EDGE OF EACH BASIN (CEC 210-8 (A)(1) & 210-52 (D)).LIGHT FIXTURES INWET LOCATIONS SHALL BE PROTECTED BY GFCI CIRCUIT (CEC 410.4(A)(9)).
- BATHTUB/WHIRLPOOLS AND SHOWER VALVES SHALL BE APPROVED PRESSURE-BAL-ANCED OR THERMOSTATIC MIXING TYPE ADJUSTED TO A MAXIMUM OF 120 DEGREES.(CPC 604)
- ALL HARDWIRED LIGHTING SHALL BE HIGH EFFICACY OR CONTROLLED BY A MANUAL ON MOTION SENOR. (CEC SECTION 150(K))
- ALL LUMINARIES (FIXTURES) INSTALLED IN WET LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS". DAMP LOCATIONS SHALL BE MARKED "SUITABLE FOR DAMP LOCATIONS" AND SHALL HAVE NON-METALLIC TRIM.(CEC 410.4 (A))
- FAN AND LIGHT/FAN COMBO SHALL BE SEPARATELY SWITCHED FROM LIGHTS AND MAY REQUIRE GFCI PROTECTION IN WET/DAMP LOCATIONS. INSTAI-L PER MANUFACTURER'S INSTRUCTIONS.(ENERGY CODE SECTION 150(K))
- WATER CLOSET SHALL HAVE AN AVERAGE WATER CONSUMPTION OF 1.28 GAL-LONS PER FLUSH.PROVIDE CAULKING AT THE BOTTOM BASE OF ALL WATER CLOSETS (CPC 407.2).
- WATER CLOSET SPACE SHALL BE AT LEAST 300 WIDE, 150" MINIMUM FROMWALL, OR OTHER OBSTRUCTION TO CENTER OF WATER CLOSET NOR CLOSER THAN 30" CENTER TO CENTER TO ANY SIMILAR FIXTURE,WITHAT LEAST 24" CLEAR IN FRONT OF THE WATER CLOSET. (CPC 407.6)
- SAFETY GLAZING AT ALL WINDOWS LESS THAN 60" ABOVE BOTTOM OF TUB AND SHOWER FLOOR AND AT TUB AND SHOWER ENCLOSURES PANELS AND DOOR. (CRC R308.4)
- SHOWER ENCLOSURE DOORS SHALL OPEN OUTWARD AND MAINTAIN 22" CLEARANCE (CPC 411.6).SHOWER COMPARTMENT SHALL BE A MINIMUM 1024 SQUARE INCHES ENCOMPASSING A 30" CIRCLE CPC 411.7.
- MAINTAIN A MINIMUM AREA AND DIMENSIONS OF 100" ABOVE THE SHOWER DRAIN. CPC 411.7
- BATHTUB/SHOWER COMPARTMENTS SHALL HAVE NON-ABSORBENT SURFACE EXTENDING 72" ABOVE THE FLOOR.

LEGENDS:

-  : INDICATES EXIST. WALL
-  : INDICATES PARTIAL HEIGHT WALL
-  : INDICATES NEW WALL
-  : INDICATES (E) WALL TO BE REMOVED
-  : INDICATES (E) WINDOW TO BE REMOVED
-  WINDOW W/SIZE INDICATION: 6'-0"W x 4'-6"H
-  DOOR W/SIZE INDICATION: 2'-4"W x 6'-8"H



PROPOSED FLOOR PLAN

SCALE: 1/4"=1'-0"

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PROPOSED FLOOR PLAN

REVISION NOTES

0	01-18-17	PLAN REVIEW
NO	DATE	REVISION

SCALE: AS NOTED

DRAWN BY: GHY

DWG. NO.

A-3

ROOF SPECIFICATIONS:

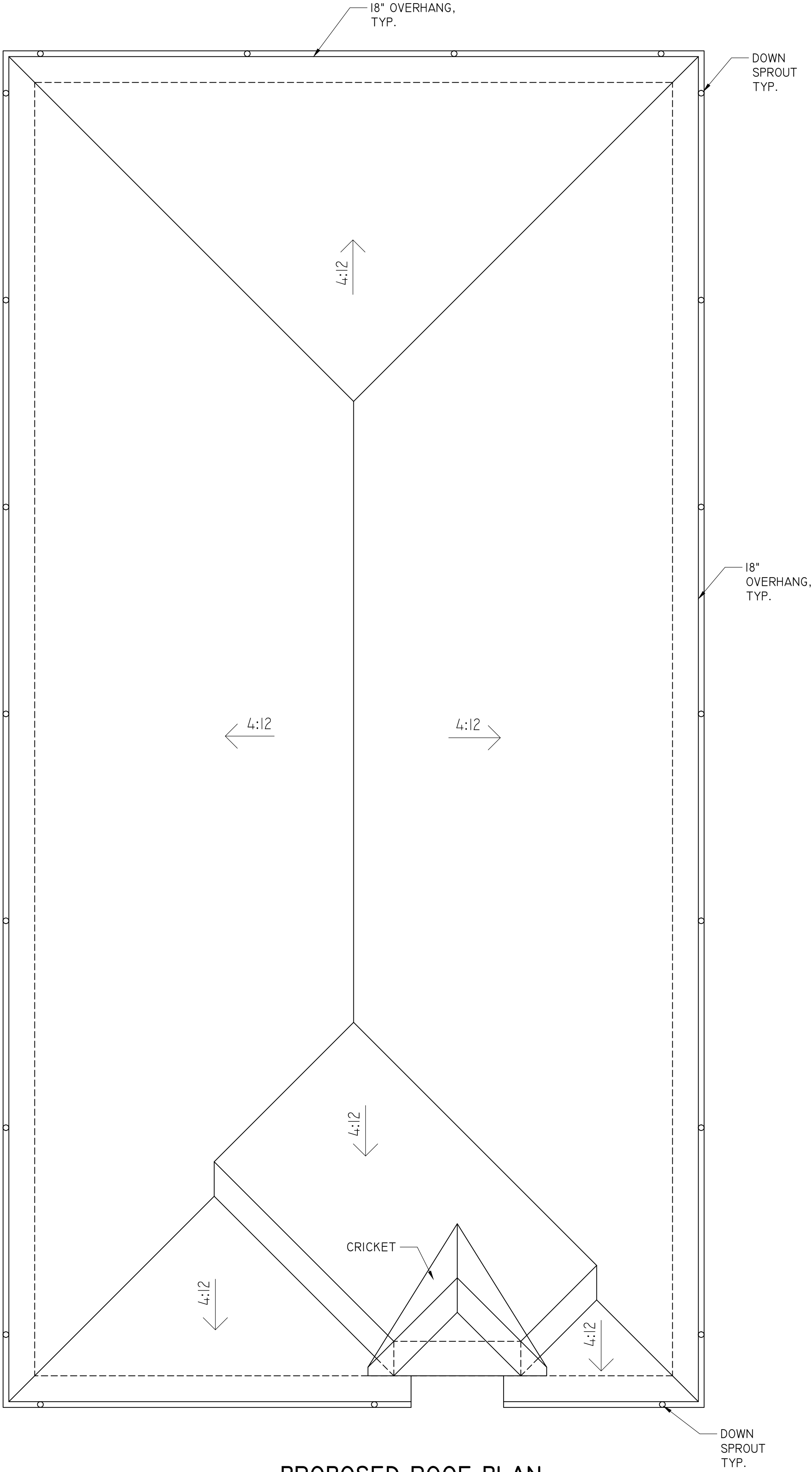
1. SPECIFICATION: LIGHT WEIGHT CEMENT TITLE ROOF
2. UNDERLAYMENT: 2 LAYERS OF 30 LBS FELT OR BETTER
APPLICATION: PER MANUFACTURES WRITTEN SPECIFICATIONS FIRE
REQUIREMENT: ROOF SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF
FLAME OR EMBERS UNDER ROOF COVERING.
3. MIN. UNDERLAYMENT REQUIREMENT SHOULD BE TWO 30 POUND FELTS, BLIND NAILED 18"
FOR SLOPES GREATER THAN 3/12 NO INTERPLAY ASPHALT SHOULD BE NECESSARY.
ROOFING CONTRACTOR SHALL VERIFY THE ABOVE SPECIFICATIONS WITH ROOFING MANUFACTURER'S
WRITTEN SPECIFICATIONS.

ROOF NOTES:

- ALL ROOFS TO SLOPE 4 IN 12 U.O.N.
- PROVIDE VALLEY FLASHING PER 2013 CRC;
- PROVIDE FLASHING AT JUNCTION BETWEEN ROOFS & WALLS PER 2013 CRC;
- INSTALL 1 PER MAX VAPOR BARRIER ON THE WARM SIDE OF ALL THE ATTIC/CEILING INSULATION.

ROOFING MATERIAL:

LIGHT WEIGHT CEMENT TITLE,
CLASSIC "S-STYLE"



PROPOSED ROOF PLAN

SCALE: 1/4"=1'-0"

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PROPOSED ROOF PLANS

REVISION NOTES

0	01-18-17	PLAN REVIEW
1	07-05-17	PLANNING PERMIT REVIEW

NO	DATE	REVISION
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SCALE: AS NOTED

DRAWN BY: GHY

DWG. NO.

A-4

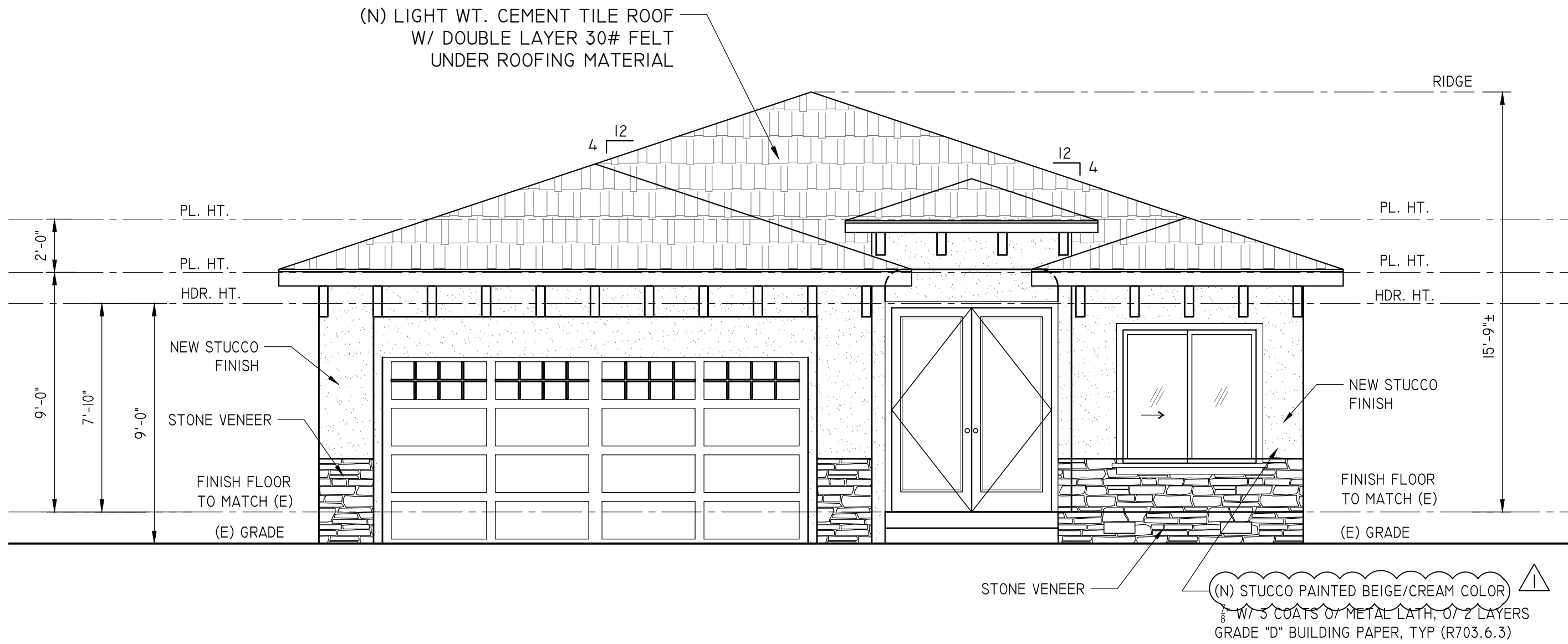
NOTE:

- THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE CONCRETE OR SIMILAR SURFACES AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR. CBC 2512.1.2
- WEATHER RESISTIVE BARRIERS SHALL INCLUDE TWO LAYERS OF GRADE "D" PAPER AND SHALL BE APPLIED HORIZONTALLY WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NO LESS THAN 2". WHERE VERTICAL JOINTS OCCUR, FELT OR PAPER SHALL BE LAPPED NOT LESS THAN 6". SURFACES EXCEEDING 45 DEGREES FROM VERTICAL SHALL HAVE BARRIERS OF CLASS B OR BETTER. CBC 2510.6
- WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADED PAPER (R703.6.3).
- PLASTERING WITH PORTLAND CEMENT PLASTER SHALL NOT BE LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING (R703.6.2).
- A MINIMUM 26 GA. GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH: (R703.6.2.1)
 - A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3.5" PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS.
 - THE SCREED SHALL BE PLACED A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREA.
- METAL LATH SHALL BE LAPPED NOT LESS THAN 1/2" AT SIDES AND 1" AT THE ENDS. WIRE LATH SHALL BE LAPPED NOT LESS THAN ONE MESH AT SIDES AND ENDS, BUT NOT LESS THAN 1". OVERLAP ROUND CORNERS 12".
- LATH ATTACHMENTS AND FASTENERS SHALL BE CORROSION RESISTANT MATERIALS. CBC 2510.4
- ATTACHMENTS SHALL BE MADE AT FRAMING MEMBERS. CBC 2510.5
- METAL OR WIRE LATH SHALL BE APPLIED WITH THE LONG DIMENSION OF THE SHEETS PERPENDICULAR TO SUPPORTS. CBC 2507.3
- METAL LATH SHALL BE LAPPED NOT LESS THAN 1/2" AT SIDES AND 1" AT THE ENDS. WIRE LATH SHALL BE LAPPED NOT LESS THAN ONE MESH AT SIDES AND ENDS, BUT NOT LESS THAN 1". OVERLAP ROUND CORNERS 12".

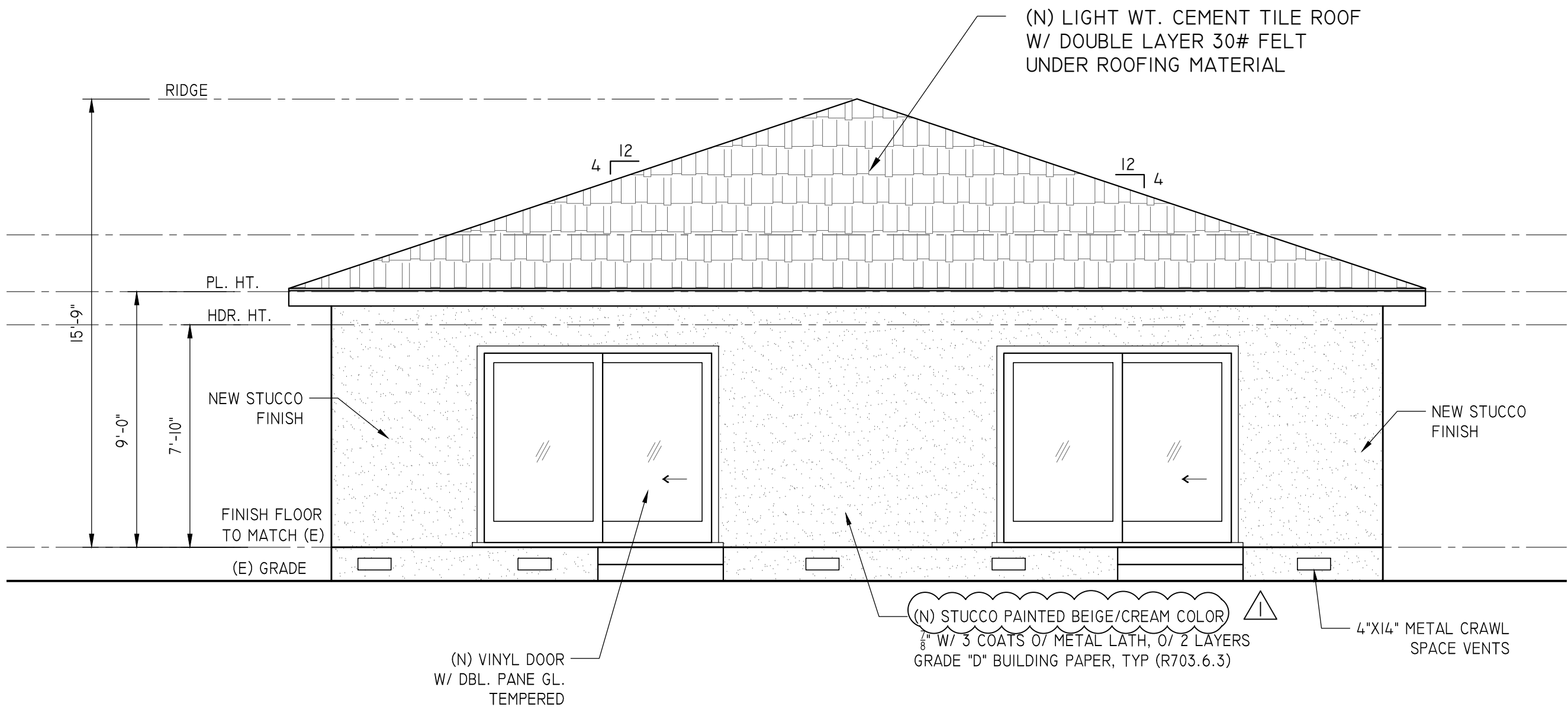
NOTE:

- DIRECT STORM DRAINAGE FROM REAR OF PROPERTY THROUGH GRASS SWALES TO THE PUBLIC RIGHT OF THE WAY.
- ALL ROOF DOWNSPOUTS TO BE RELEASED TO THE GROUND SURFACE, DIRECTED AWAY FROM BUILDING FOUNDATION AND LANDSCAPE AREA.
- SLOPE 5% AWAY FROM STRUCTURES.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP's),AS REQUIRED BY THE STATE WATER RESOURCES CONTROL BOARD, FOR ANY ACTIVITY WITH DISTURBS SOIL.

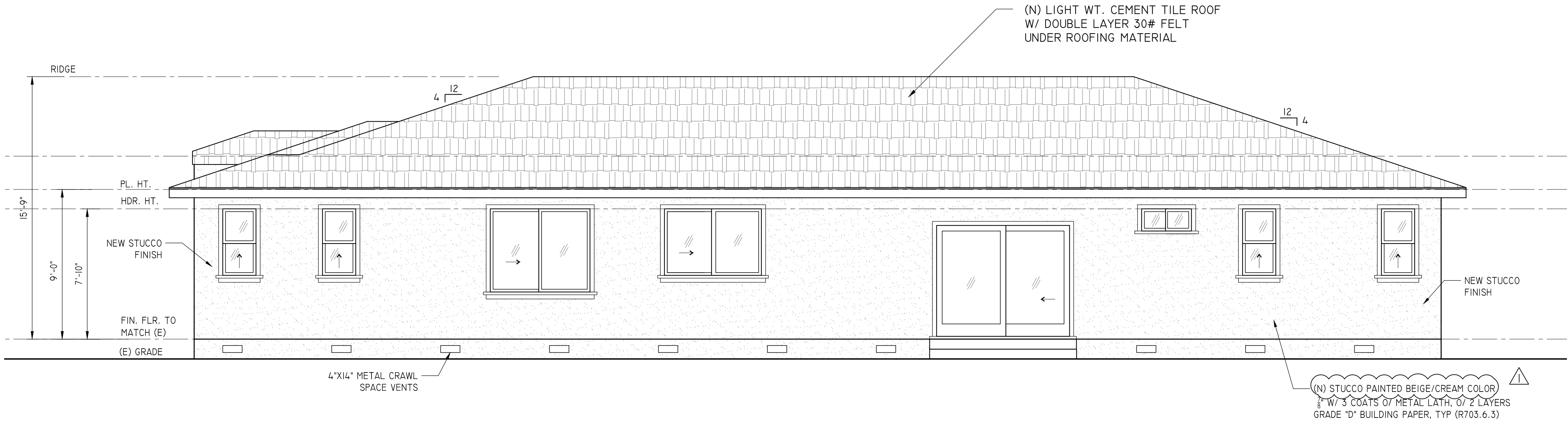
STONE VENEER MATERIAL:
LEDGESTONE CULTURED STONE



FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

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EXTERIOR ELEVATIONS & SECTIONS

REVISION NOTES

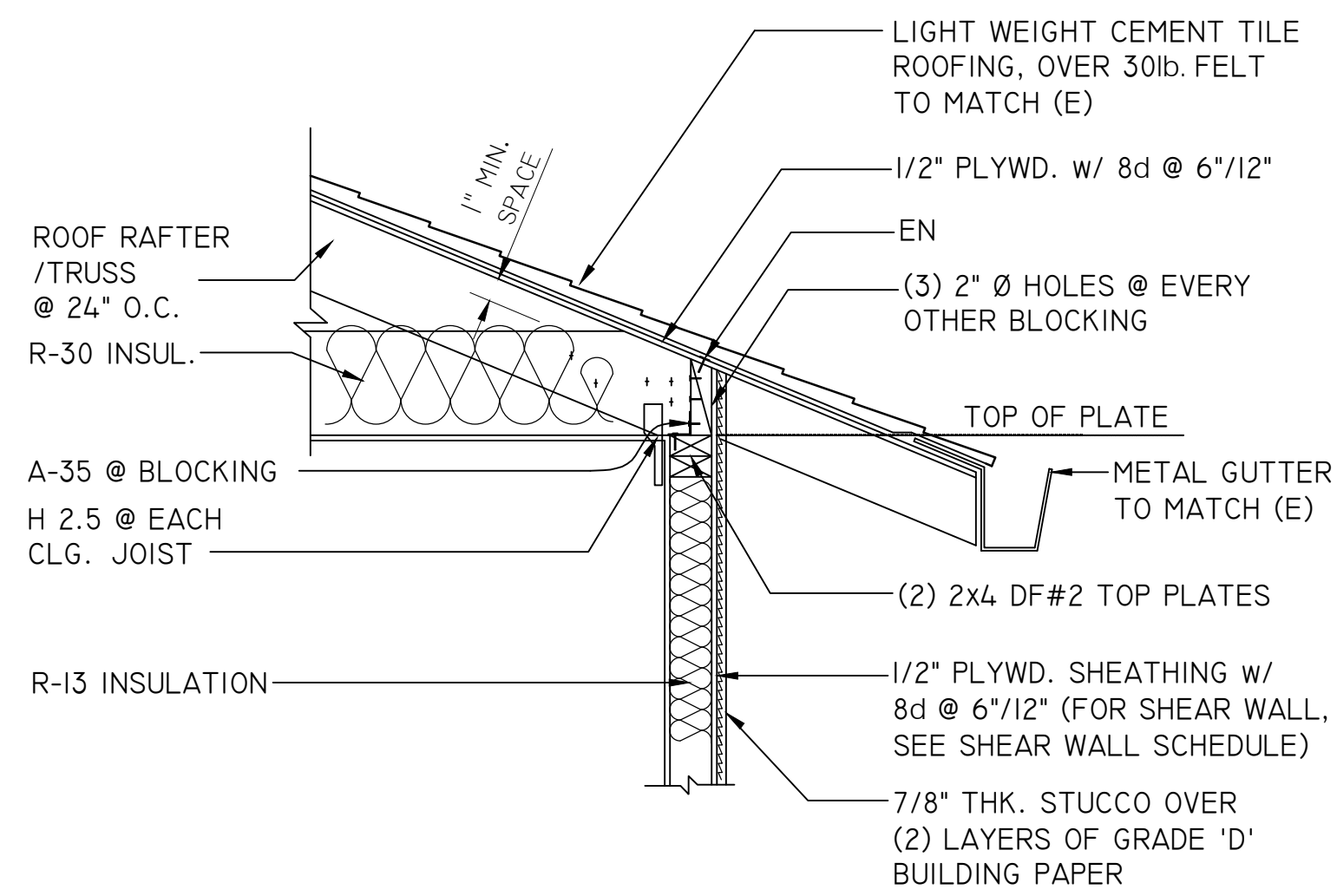
0	01-18-17	PLAN REVIEW
1	07-05-17	PLANNING PERMIT REVIEW
NO	DATE	REVISION

SCALE: AS NOTED

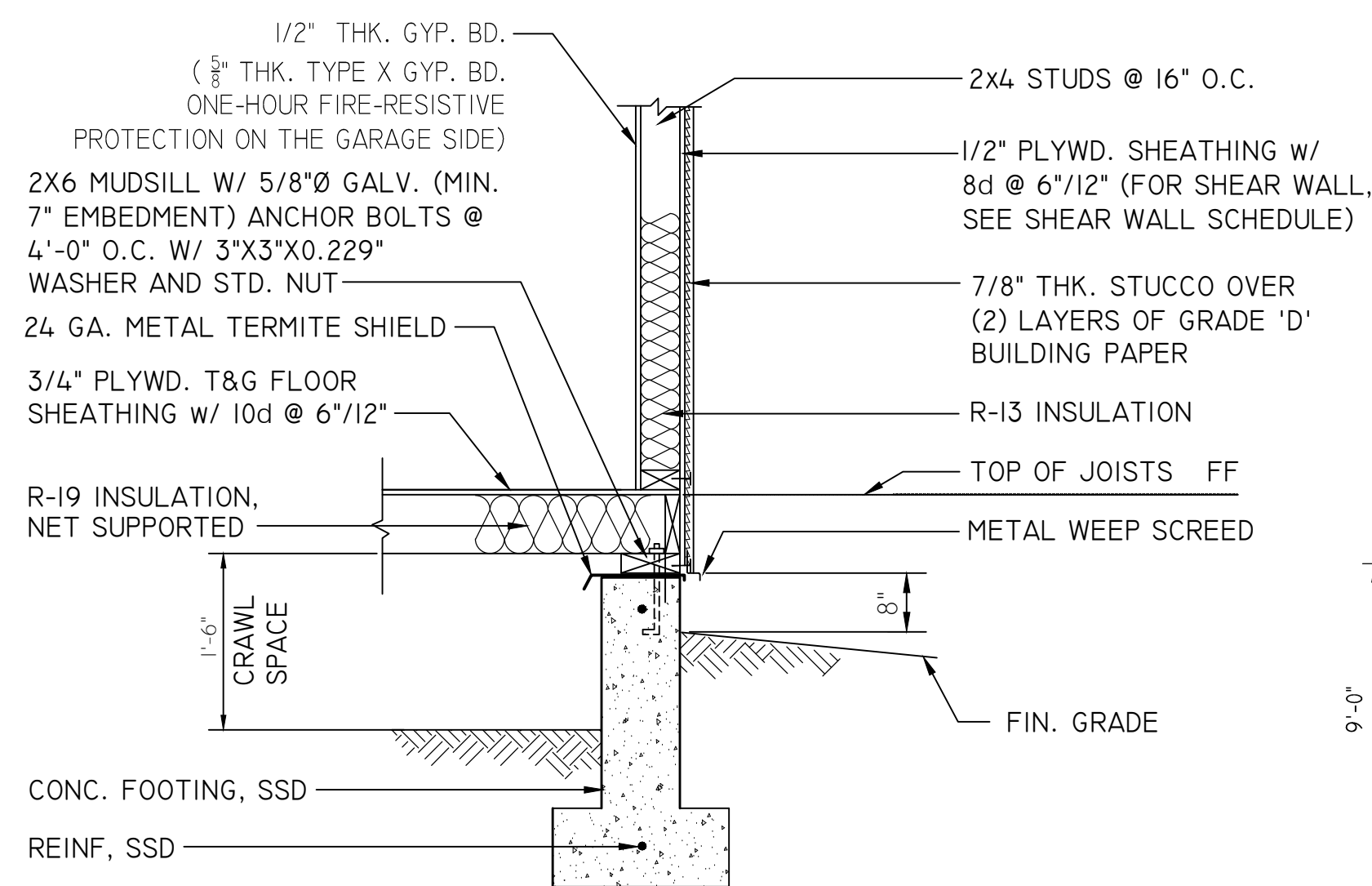
DRAWN BY: GHY

DWG. NO.

A-5



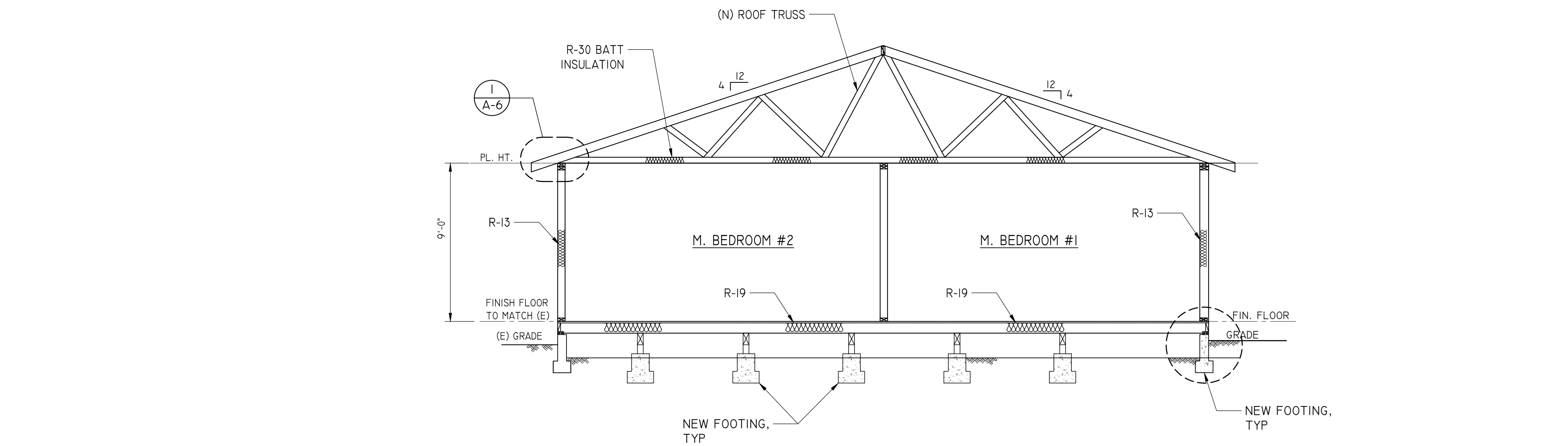
1 ROOF DETAIL
SCALE: 1/4" = 1'-0"



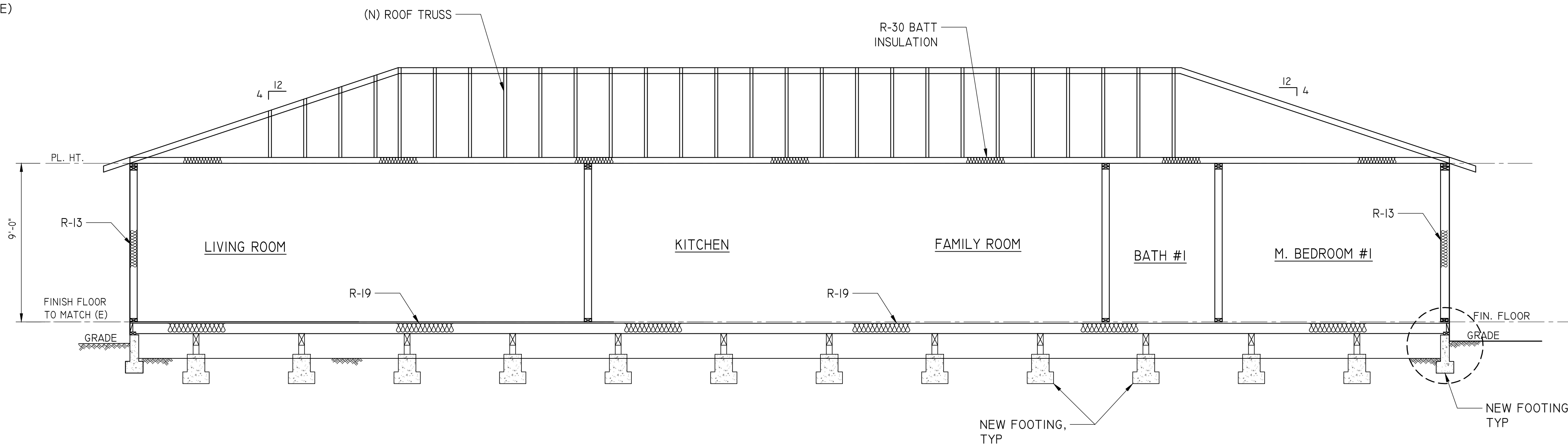
2 PERIMETER FOOTING
SCALE: 1/4" = 1'-0"

MATERIAL LIST:

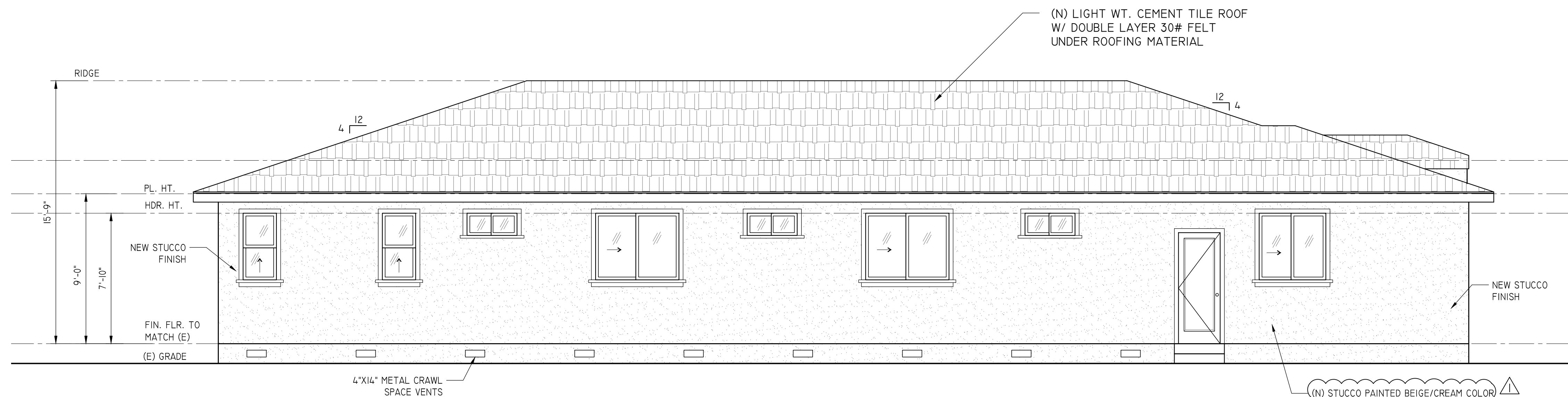
ROOFING: LIGHT WEIGHT CEMENT TITLE, CLASSIC "S-STYLE"
STUCCO: BEGIE/CREAM COLOR
STONE: LEDGESTONE VENEER
WINDOW: DUAL PANE "WHITE"



SECTION A-A
SCALE: 1/4"=1'-0"



SECTION B-B
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

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NEW SINGLE FAMILY HOME
MYINT AND NGO'S FAMILY RESIDENCE
360 CARNEGIE DRIVE
MILPITAS, CA 95035

EXTERIOR ELEVATIONS & SECTIONS

REVISION NOTES

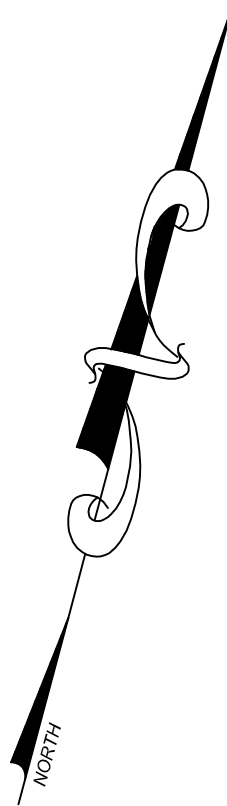
0	01-18-17	PLAN REVIEW
1	07-05-17	PLANNING PERMIT REVIEW
NO	DATE	REVISION

SCALE: AS NOTED

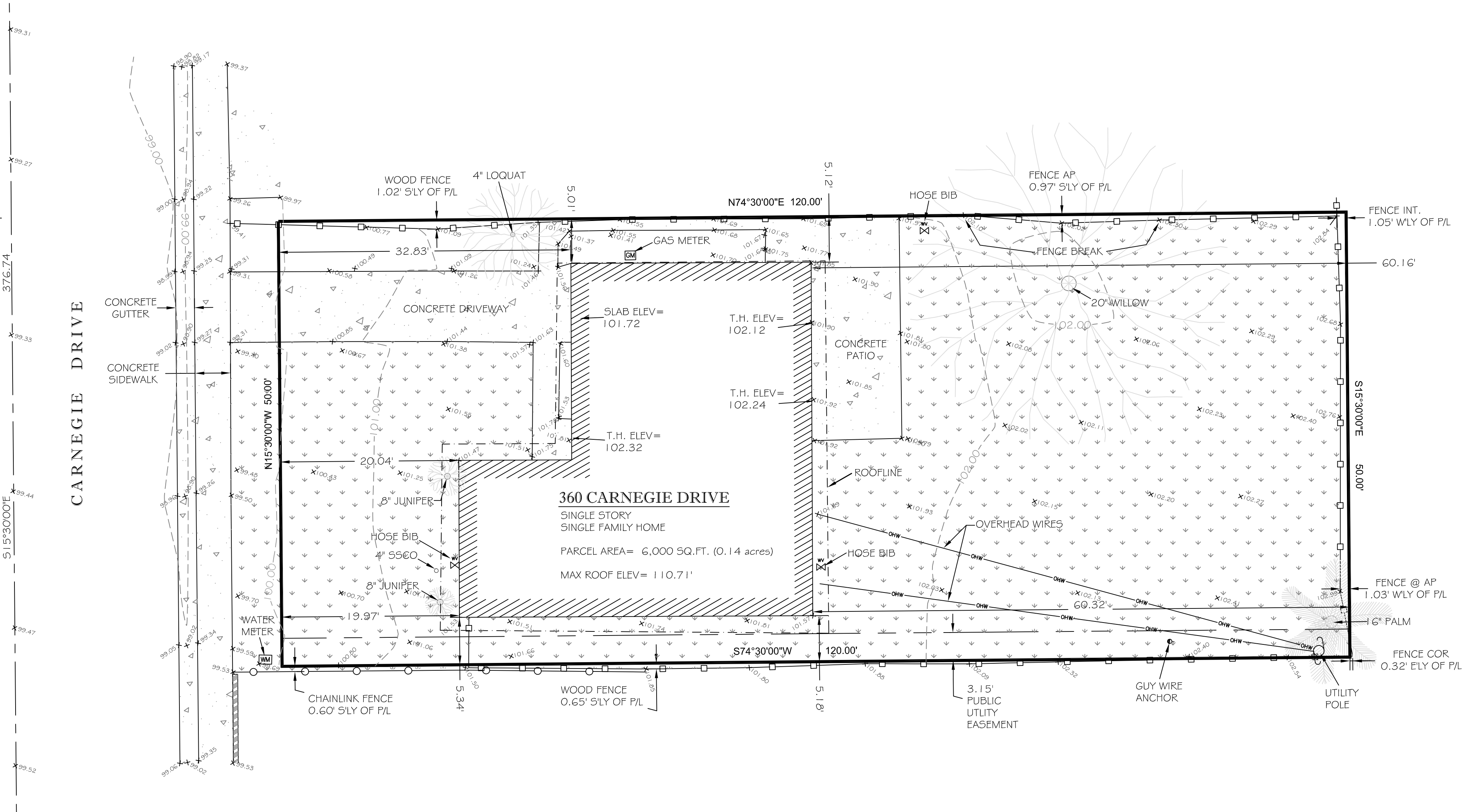
DRAWN BY: GHY

DWG. NO.

A-6



PROJECT BENCHMARK:
MAG NAIL & SHINER
ELEV = 99.25'
ASSUMED DATUM



- LEGEND:**
- PROPERTY LINE
 - CHAINLINK FENCE
 - WOOD FENCE
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - SPOT ELEVATION
 - BUILDING
 - WALL
 - CONCRETE
 - PAVEMENT
 - DRAIN
 - TREE TRUNK
 - DRIPLINE
 - HEDGE / BRUSHLINE

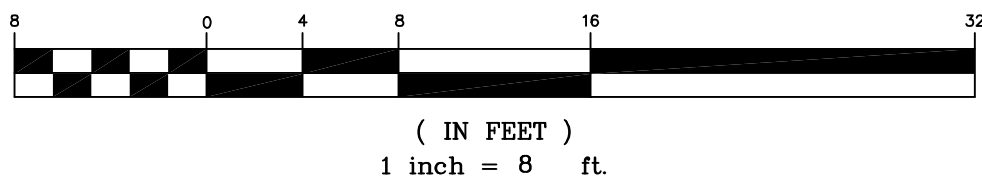
LEGAL DESCRIPTION

LOT 135 AS SHOWN ON TRACT NO. 935 RECORDED IN MAP BOOK 51
PAGES 50-51 OF SANTA CLARA COUNTY RECORDS.

SURVEYOR'S NARRATIVE

AT THE REQUESTED BY THE CLIENT, THIS SURVEY WAS PERFORMED FOR
THE PURPOSE OF DETERMINING THE PROPERTY BOUNDARY, AND THE
LOCATION OF IMPROVEMENTS AND ELEVATIONS ON THE SUBJECT
PROPERTY. EXISTING MONUMENTS AND TIES AS SHOWN ON TRACT NO.
20305 WERE USED TO CONTROL THIS SURVEY.

GRAPHIC SCALE



SURVEYOR'S NOTES

- ELEVATIONS ARE ON ASSUMED DATUM. PROJECT SITE BENCHMARK IS SHOWN HEREON.
- ONLY TREES 6" AND ABOVE WERE LOCATED ON THIS SURVEY. SMALLER TREES AND SHRUBS ARE NOT SHOWN.
- DISTANCES SHOWN HEREON AREA EXPRESSED IN FEET AND DECIMALS THEREOF.

SURVEYOR'S CERTIFICATE

I, KACIE A. PLOUFF, CERTIFY THAT I AM LICENSED AS A PROFESSIONAL
LAND SURVEYOR IN THE STATE OF CALIFORNIA (REF. NO. 9013).
I FURTHER CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A
TOPOGRAPHIC SURVEY CONDUCTED UNDER MY SUPERVISION AT THE
REQUEST OF THE CLIENT.



KACIE A. PLOUFF, PLS 9013

CHRISTENSEN & PLOUFF
LAND SURVEYING
1550 OAKMEAD PARKWAY SUITE 200
SUNNYVALE, CA 94085
408-755-0761 • www.cplandsurveying.com

DATE: 04/01/17
DRAWING SCALE: 1" = 8'
PREPARED BY: KACIE PLOUFF
APPROVED BY:
FILE NAME: NCA-17-023-360 CARNEGIE DR MILPITAS

360 CARNEGIE DRIVE, MILPITAS
COUNTY OF SANTA CLARA
STATE OF CALIFORNIA
APN: 088-008-065

TOPOGRAPHIC SITE PLAN

PROJECT NO.
NCA-17-023

SHEET NO.
LS-1